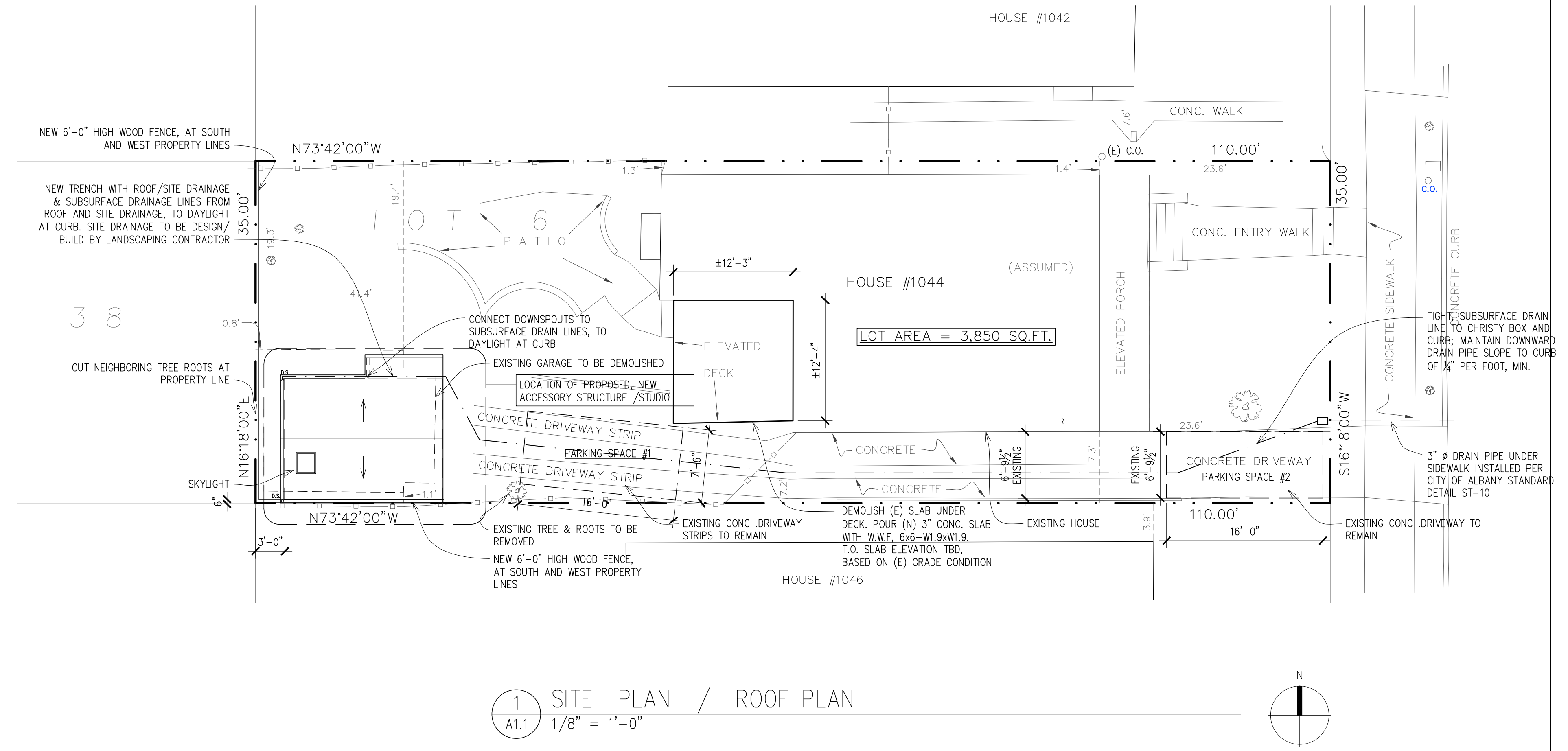


GENERAL NOTES

1. **CODES USED:**
 THIS PROJECT SHALL BE IN COMPLIANCE WITH APPLICABLE REQUIREMENTS FROM THE CALIFORNIA CODE OF REGULATIONS, TITLE 24 AS ADOPTED AND AMENDED BY THE LOCAL AGENCY, AND THE FOLLOWING RELEVANT CODES:
 2016 CALIFORNIA RESIDENTIAL CODE (CBC)
 2016 CALIFORNIA PLUMBING CODE (CPC)
 2016 CALIFORNIA MECHANICAL CODE (CMC)
 2016 CALIFORNIA ELECTRICAL CODE (CEC)
 2016 CALIFORNIA ENERGY CODE
 2016 CALIFORNIA FIRE CODE (CFC)

2.

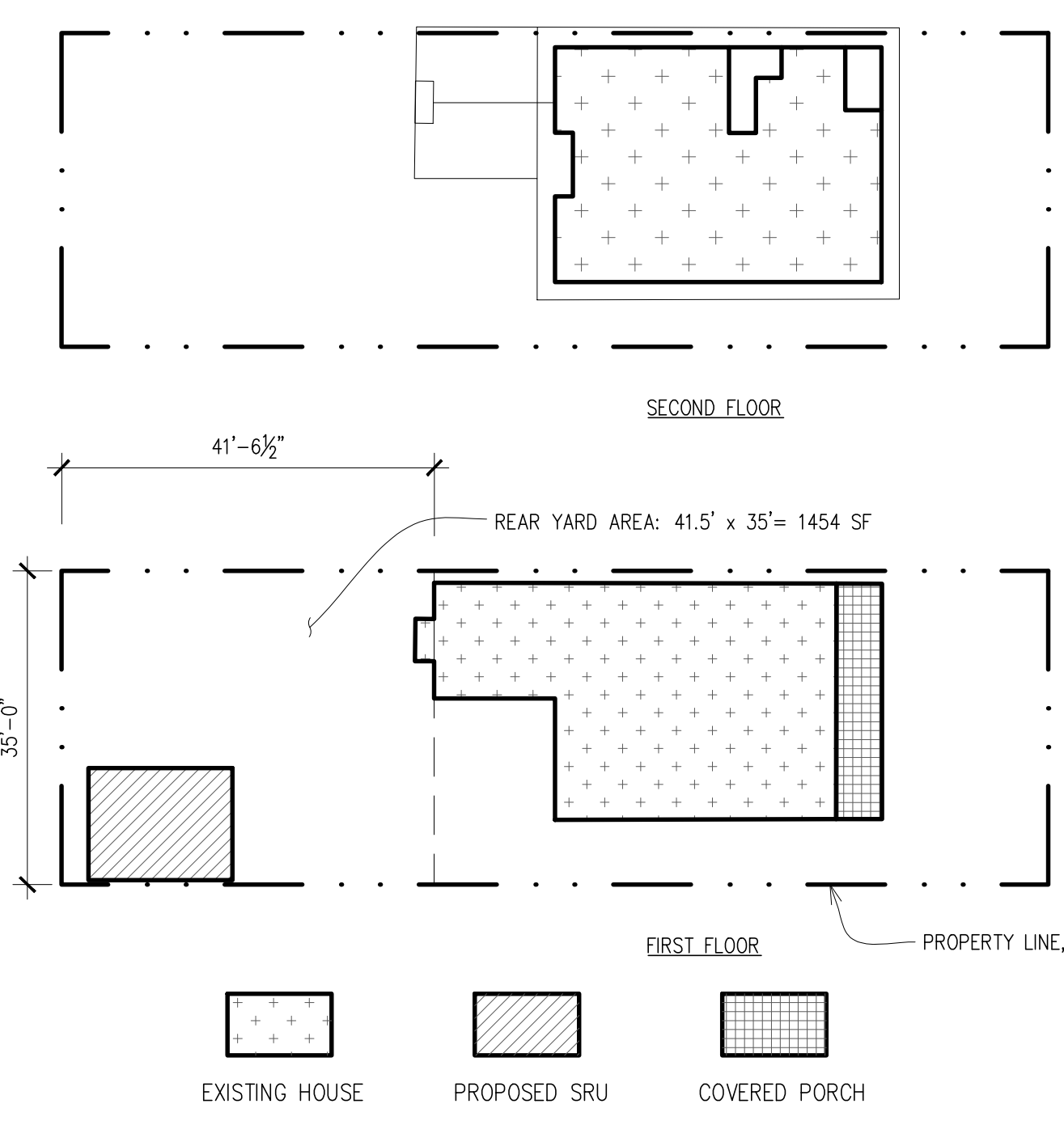


1 SITE PLAN / ROOF PLAN
 A1.1 1/8" = 1'-0"

STANDARD ABBREVIATIONS

A.B.	Anchor Bolt	OTI	Ground Fault Interrupter	REC.	Recessed
A.C.	Asphaltic Concrete	CL	Clamp	REF.	Refrigerator
A.D.	Area Drain	GLB.	Glass	REQD.	Required
ADJ.	Adjacent	GR.	Grade	RES.	Resistant
ADJUST.	Adjustable	GR.	Galvanized Sheet Metal	RESL.	Resilient
A.F.F.	Above Finish Floor	GSM.	Gypsum Wall Board	RM.	Room
ALUM.	Aluminum	G.W.B.	Gypsum Board	R.O.	Rough Opening
		GYP-BO.	Gypsum Board	REBWD.	Rebored
				R.W.L.	Rain Water Leader
BD.	Board	H.B.	Hollow Box	S.A.D.	See Architectural Drawing
B.D.C.	Building	H.C.	Header	S.A.M.	Self-Adhesive Membrane
BLKG.	Blocking	HDR.	Hardware	S.C.	Solid Core
BM.	Beam	HDR.	Hardware	SCHED.	Schedule
B.O.	Bottom Of	H.W.D.	Hollow Wood	SECT.	Section
BOT.	Bottom	H.M.	Hollow Metal	SH.	Sheet
B.O.W.	Bottom Of Wall	HR.	Hour	SHT.	Sheet
BTWN.	Between	HT.	Height	SM.	Simbar
		H.W.H.	Hot Water Heater	SL.	Sliding
CAB.	Cabinet	I.D.	Inside Diameter	SPEC.	Specification
CER.	Ceramic	INSUL.	Insulation	SQ.	Square
C.J.	Control Joint	INT.	Interior	S.S.	Stainless Steel
C.S.	Cutting			S.S.D.	See Structural Drawings
CLR.	Clear	JT.	Joint	STL.	Steel
C.M.U.	Concrete Masonry Unit			STOR.	Storage
COL.	Column	LAV.	Lavatory	STRUCT.	Structural
COMP.	Composition	LB.	Lap Bolt	SUSP.	Suspended
CONC.	Concrete	LEV.	Level	SYM.	Symmetrical
CONST.	Construction	LOC.	Location		
CONT.	Continuous	LT.	Light	T	Tread
OPT.	Corset	MAX.	Maximum	T&G	Tongue and Groove
CR.	Center	M.B.	Machine Bolt	T.B.	Towel Bar
		M.C.	Machine Cabinet	TEL.	Telephone
DBL.	Double	M.E.H.	Machine Enclosure	TEMP.	Tempered
DET.	Detail	M.E.M.	Mechanical Membrane	THK.	Thick
D.F.	Douglas Fir	M.E.M.	Mechanical Membrane	THRU.	Through
DM.	Dimension	MFR.	Manufacturer	T.N.	Top Nail
DN.	Down	MIN.	Minimum	T.O.	Top Of
DR.	Door	MISC.	Miscellaneous	T.O.C.	Top Of Curb
D.S.	Down Spout	MTD.	Mounted	T.O.W.	Top Of Wall
DWG.	Drawing	MTL.	Metal	T.P.H.	Toilet Paper Holder
		MTL.	Metal	T.S.	Toe Space
EX.	Existing	(N)	New	TYP.	Typical
E.A.	Expansion Joint	N.I.C.	Not In Contract	UNF.	Unfinished
E.L.	Electrical	NO./#	Number	U.O.N.	Unless Otherwise Noted
ELEV.	Elevation/Elevator	NOM.	Nominal		
E.N.	Edge Nail	N.T.S.	Not To Scale	V.B.	Vapor Barrier
ENCL.	Enclosure	O.C.	On Center	VT	Vinyl Composition Tile
EQ.	Equipment	O.D.	Outside Diameter	VEN.	Veneer
EQUIP.	Equipment	O.D.	Outside Diameter	VER.	Verify
E.W.	Each Way	OPNG.	Opening	V.G.	Vertical Grain
EXPO.	Expansion	OPNG.	Opening	V.I.F.	Verify In Field
EXPN.	Expansion	OPP.	Opposite	w/	With
EXT.	Exterior	O.S.	Opposite	w/o	Without
		PERF.	Perforated	WC	Water Closet
F.A.	Fire Alarm	PLY.	Plywood	WD.	Window
F.A.U.	Forced Air Unit	PR.	Preparation	WN.	Window
F.D.	Fire Drill	PRP.	Preparation	WR.	Water Resistant
FDN.	Foundation	PT.	Painted	WTG.	Weight
F.F.	Fire Extinguisher	P.T.D.	Painted	W.W.M.	Wetted Wire Mesh
F.F.L.	Fire Floor Level	P.W.	Plywood		
FIN.	Finish	Q.T.	Quarry Tile	@	At
FLR.	Floor	R	Refrigerator	c	Center Line
FLUOR.	Fluorescent	RAD.	Radius	d	Diameter
F.O.	Face Of	R.D.	Radius	Ø	Property Line/Plate
F.O.S.	Face Of Stud	R.D.	Radius	⊕	Square Foot/Feet
F.O.W.	Face Of Wall	R.D.	Radius		
FT.	Foot/Feet	R.D.	Radius		
FTD.	Foot/Feet	R.D.	Radius		
FUT.	Future	R.D.	Radius		
		R.D.	Radius		
GA.	Gauge	R.D.	Radius		
GALV.	Galvanized	R.D.	Radius		
G.B.	Grab Bar	R.D.	Radius		

PROJECT INFORMATION, LOT COVERAGE AND F.A.R. INFO



ZONE R-1; SINGLE FAMILY RESIDENTIAL 3850 S.F.

TOTAL LOT AREA, SEE SURVEY

55% MAXIMUM ALLOWABLE F.A.R. (FLOOR AREA RATIO)
 50% MAXIMUM ALLOWABLE LOT COVERAGE

LOT AND BUILDING SQUARE FOOT CALCS:

1ST FLOOR FLOOR AREA - EXISTING	1004.0 S.F.
2ND FLOOR FLOOR AREA-EXISTING, excl. STAIR	872.2 S.F.
EXISTING GARAGE	246.5 S.F.
= TOTAL EXISTING FLOOR AREA	2122.7 S.F.

EXISTING F.A.R.
 2122.7 SF / 3850 = 55.14% F.A.R.

1ST FLOOR FLOOR AREA - EXISTING	1004.0 S.F.
2ND FLOOR FLOOR AREA-EXISTING, excl. STAIR	872.2 S.F.
PROPOSED ACCESSORY STRUCTURE	199.9 S.F.
= TOTAL PROPOSED FLOOR AREA	2076.1 S.F.

PROPOSED F.A.R.
 = 2076.1 SF / 3850 = 53.9% F.A.R.

1ST FLOOR FLOOR AREA - EXISTING	1004.0 S.F.
COVERED ENTRY PORCH - EXISTING	134.1 S.F.
EXISTING GARAGE	246.5 S.F.
= EXISTING BUILDING FOOTPRINT	1384.6 S.F.

EXISTING LOT COVERAGE
 = 1384.6 SF / 3850 = 36% LOT COVERAGE

1ST FLOOR FLOOR AREA - EXISTING	1004.0 S.F.
COVERED ENTRY PORCH - EXISTING	134.1 S.F.
PROPOSED NEW ACCESSORY STRUCTURE	199.9 S.F.
= TOTAL BUILDING FOOTPRINT	1338.0 S.F.

PROPOSED LOT COVERAGE
 = 1338.0 SF / 3850 = 34.8% LOT COVERAGE

PROJECT SUMMARY

THE OWNERS PROPOSE TO CONSTRUCT A NEW 200 SQUARE FOOT DETACHED ACCESSORY STRUCTURE/ STUDIO IN THE REAR YARD AT 1044 ORDWAY STREET IN ALBANY, CA. THE EXISTING GARAGE WILL BE DEMOLISHED AND STUDIO WILL BE BUILT IN APPROXIMATELY THE SAME LOCATION, AT SOUTH WEST CORNER OF PROPERTY. THE STUDIO WILL CONSIST OF ONE OPEN ROOM, WITH NO BATHROOM OR KITCHEN.

THE EXISTING TWO STORY SINGLE FAMILY HOUSE WILL REMAIN.

30% MAX. REAR YARD COVERAGE BY SRU
 REAR YARD AREA = 41'-6 1/2" x 35' = 1454 S.F. -EXISTING
 241.3 S.F. PROPOSED SRU

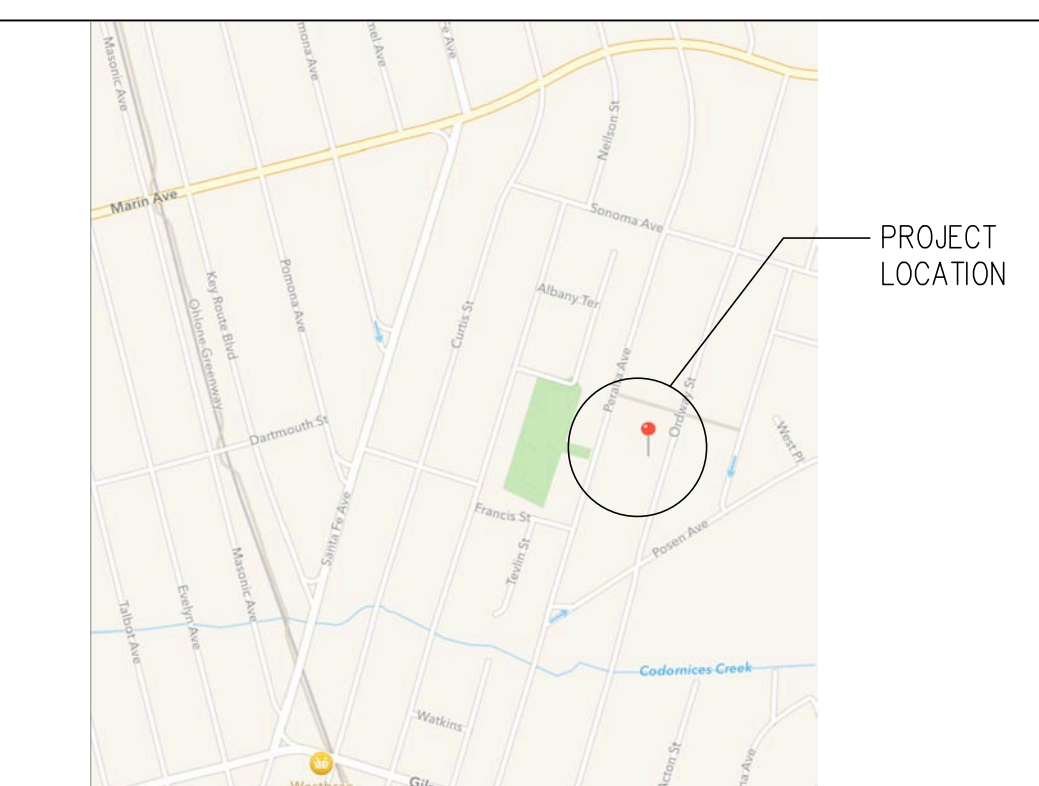
199.9 / 1454 = 13.7% REAR YARD LOT COVERAGE

APPROXIMATELY 9.0 CUBIC YARDS OF EXCAVATION

DRAWING INDEX

- A1.1 COVER SHEET, SITE PLAN/ROOF PLAN & PROJECT INFORMATION
- C1.0 SURVEY
- A2.1 PROPOSED FLOOR & ROOF PLANS, WINDOW SCHEDULE & DETAILS, WALL TYPE DETAILS, FINISH SCHEDULE
- A3.1 PROPOSED EXTERIOR ELEVATIONS, BUILDING SECTIONS & INTERIOR ELEVATIONS

LOCATION MAP



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 Eliano Elias & Thomas Burke
 1044 Ordway St.
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 510-528-8242
 elianoelias@comcast.net
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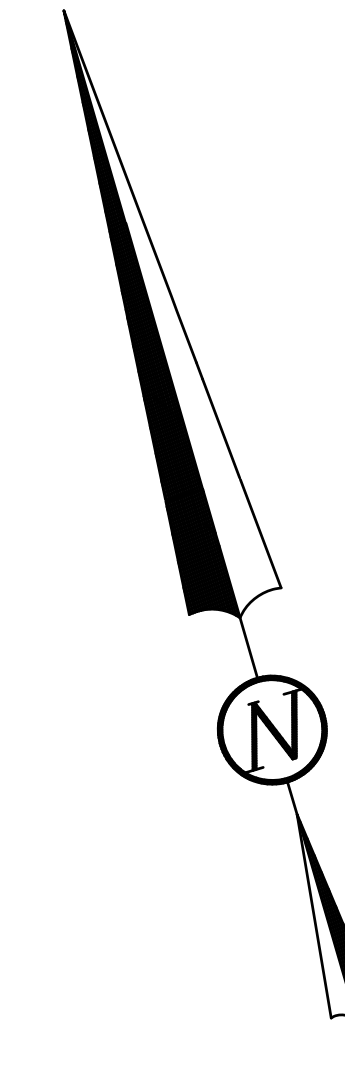
No.	Date	Issues and Revisions
4/7/17		PLANNING SUBMITTAL

COVER SHEET, SITE PLAN, & PROJECT INFORMATION

SCALE: 1/8" = 1'-0"

A1.1

MANOR WAY (10' WIDE)

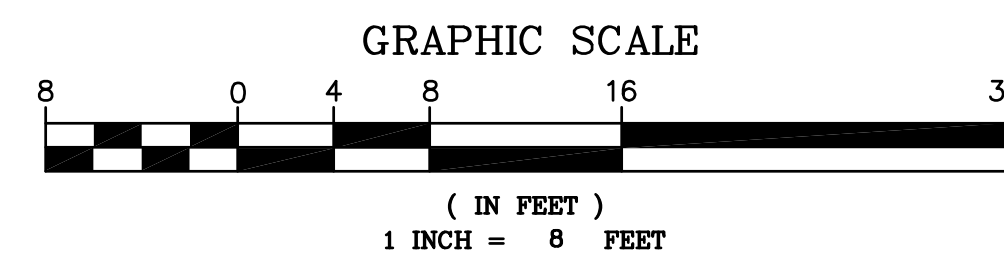
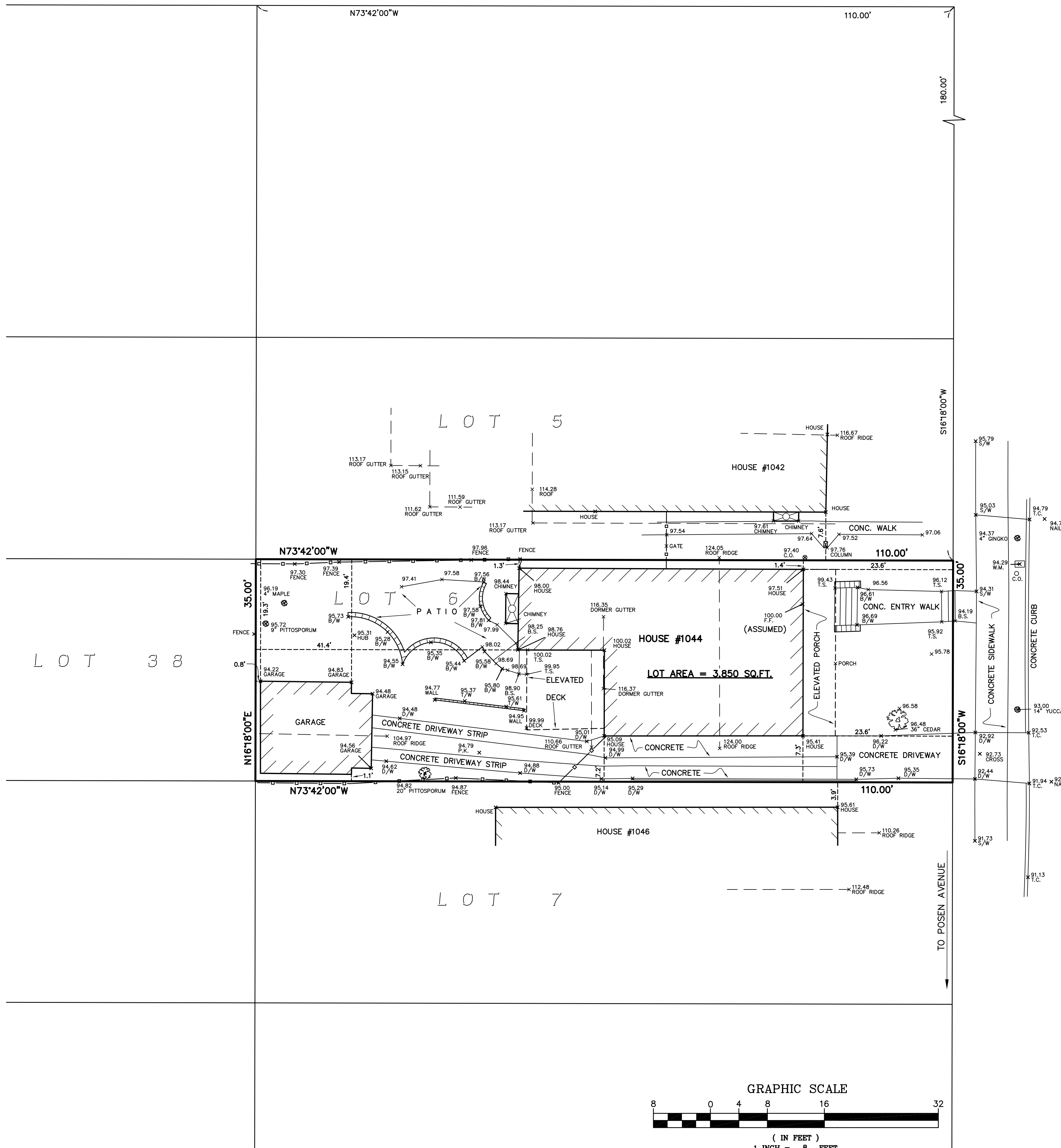


ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
THE FINISH FLOOR AT THE FRONT DOOR
IS TAKEN AS 100.00'.

LEGEND

- B.S. BASE OF STEPS
- B/W BASE OF WALL
- C.O. CLEAN OUT
- CONC. CONCRETE
- D/W DRIVEWAY
- F.F. FINISH FLOOR
- P.K. NAIL
- S/W SIDEWALK
- T.C. TOP OF CURB
- T.S. TOP OF STEPS
- T/W TOP OF WALL
- W.M. WATER METER

ORDWAY STREET (60' WIDE)



HOUSE LOCATION SURVEY

LOT 6, BLOCK 5,
MAP OF KEY ROUTE TERRACE NO. 2 (21 M 52)
LOCATED AT 1044 ORDWAY STREET
CITY OF ALBANY, COUNTY OF ALAMEDA, CALIFORNIA
AUGUST, 2016 SCALE: 1" = 8'

MORAN ENGINEERING, INC.

CIVIL ENGINEERS \ LAND SURVEYORS
1930 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(510) 848-1930

C1.0

FLOOR: [1][1][1]

BASE: [2][1][1]

1 STAINED, SEALED
STRUCT. CONC.

2 1x4 WOOD BASE

WALL FINISH: [1][3][1]

CEILING FINISH: [1][1][4]

3 PAINTED GYPSUM BOARD

4 PAINTED GYPSUM BOARD, WITH DECORATIVE
WOOD RAFTERS AND EXPOSED RIDGE BEAM

7 FINISH SCHEDULE

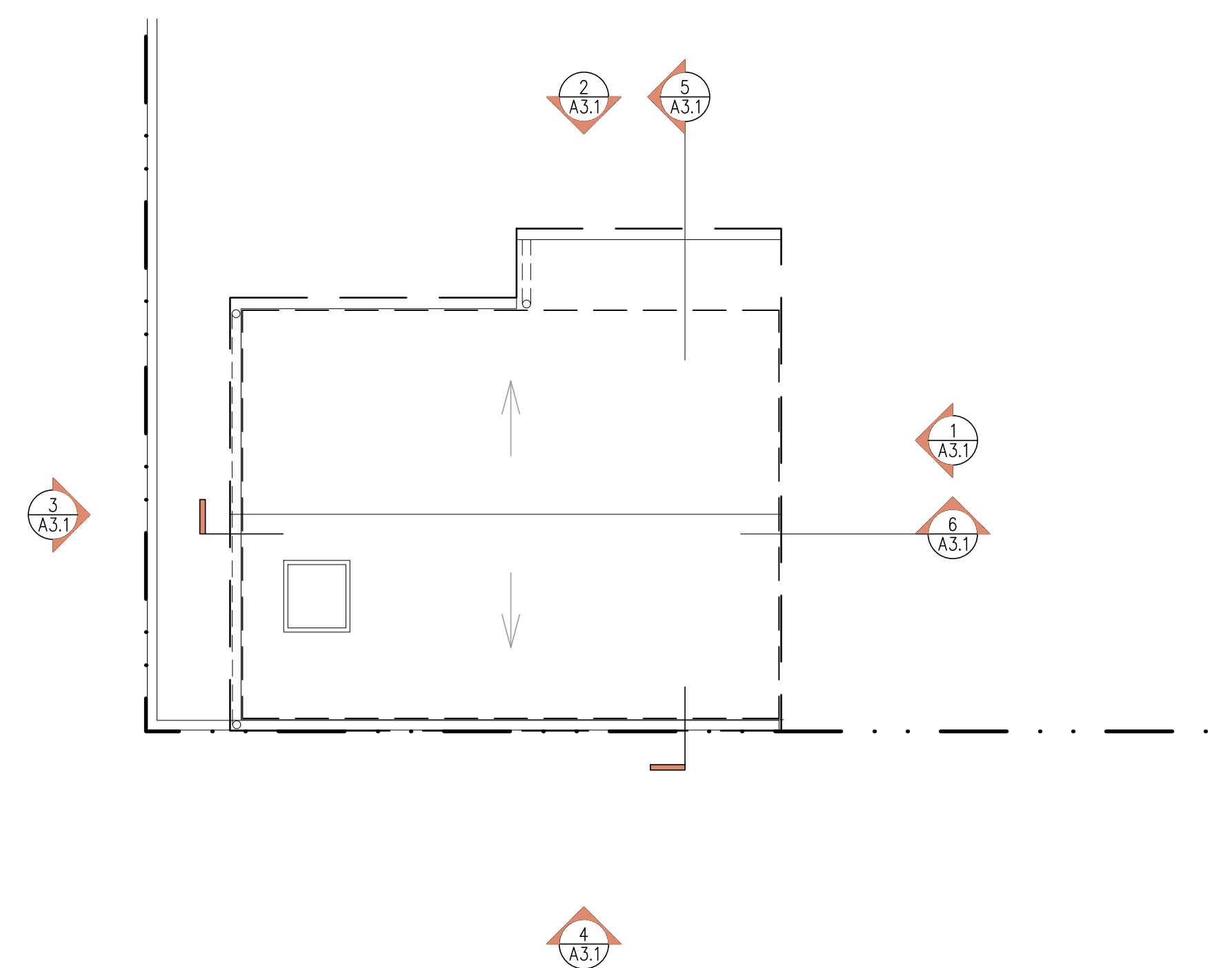
A2.1

Mark	W x H (frame size)	Type	Head Ht. (fin.)	Sill Approx.	Model #	Head	Jamb	Sill	Remarks	Locations
1	4'-6" x 4'-0"	Casement-Picture-Casement unit	7'-0"		HCA1640	UA2.1		UA2.1		
2	13'-11 1/2" x 4'-6"	Casement pan	7'-0"		DCA2046	UA2.1		UA2.1	Tempered	
3	32" x 30"	Operable skylight, Velux								
A	5'-0" x 7'-2" French doors	French doors, out-swing, Wood Ultron	7'-0"		HDF 5470 XXI				Tempered	

1 All new exterior doors are Integrity by Marvin, Ultron. Stained pine interior door u.o.n. Windows:
 2 All new windows are Integrity by Marvin, All Ultron.
 3 All windows to have factory applied 4-9/16" jamb extension, pine.
 4 All glazing shall be clear, double glazed low E2, U.O.N.
 5 All windows directly adjacent to operable doors shall be tempered.
 6 Chad frame color to be selected.

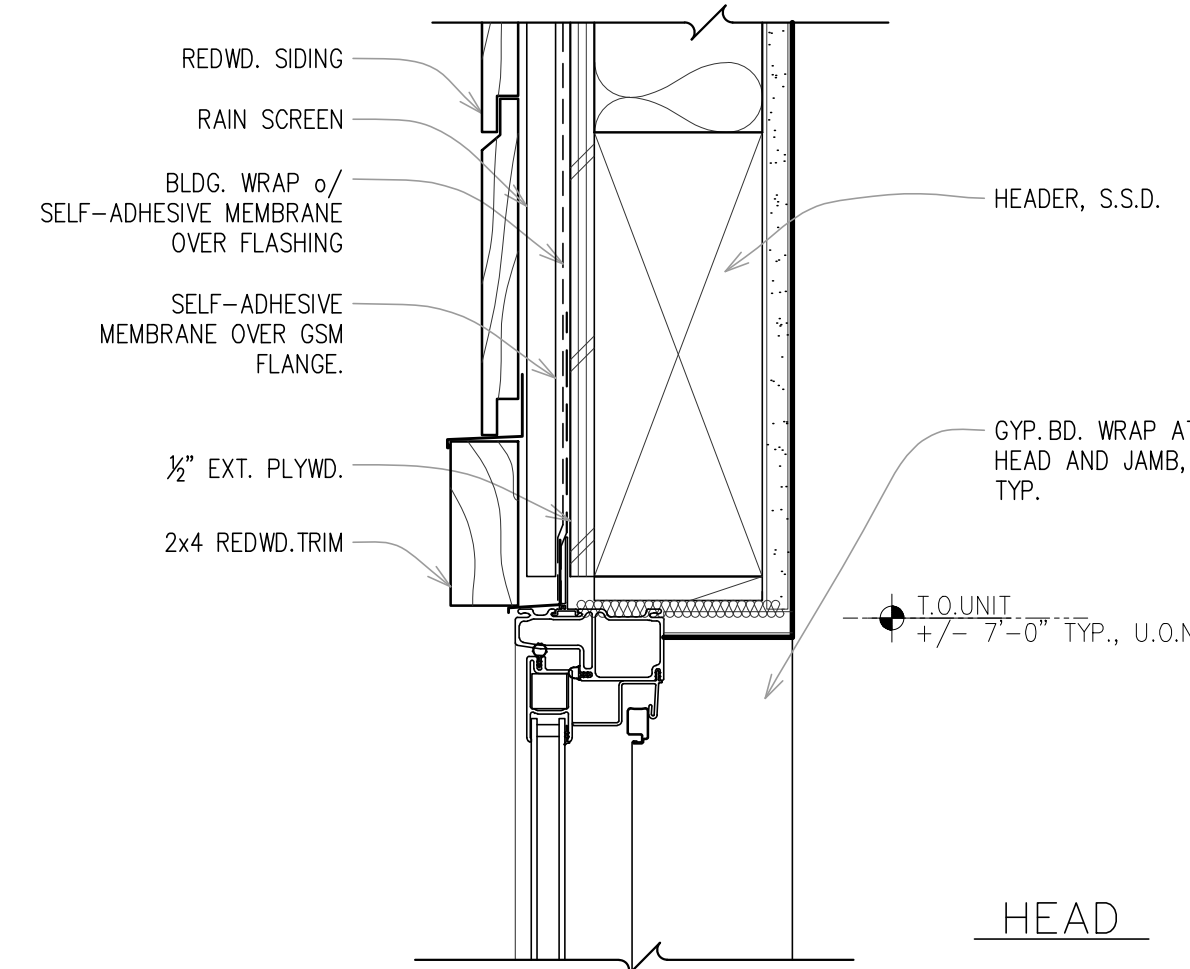
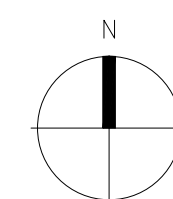
6 WINDOW AND DOOR SCHEDULE

A2.1

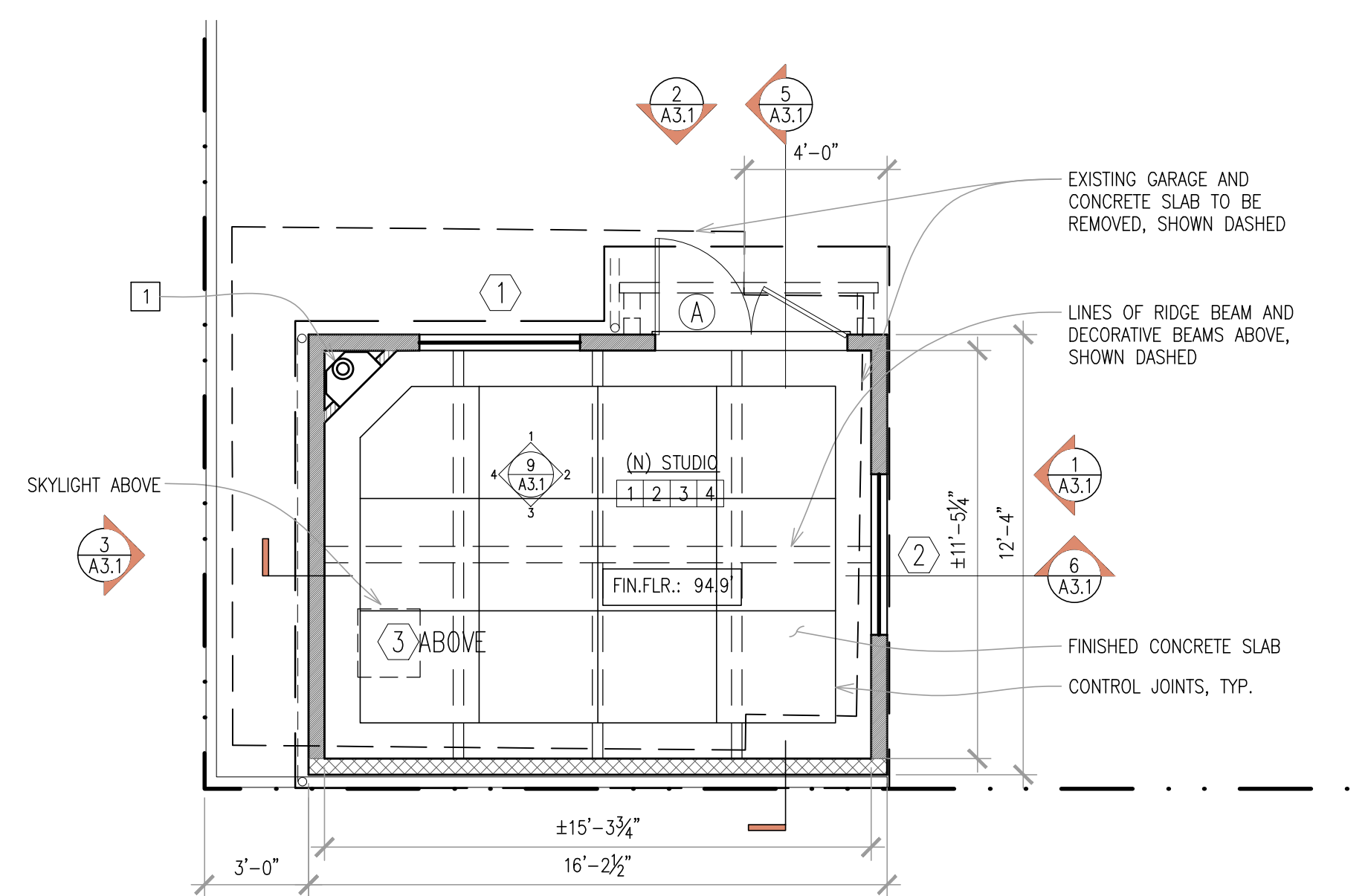
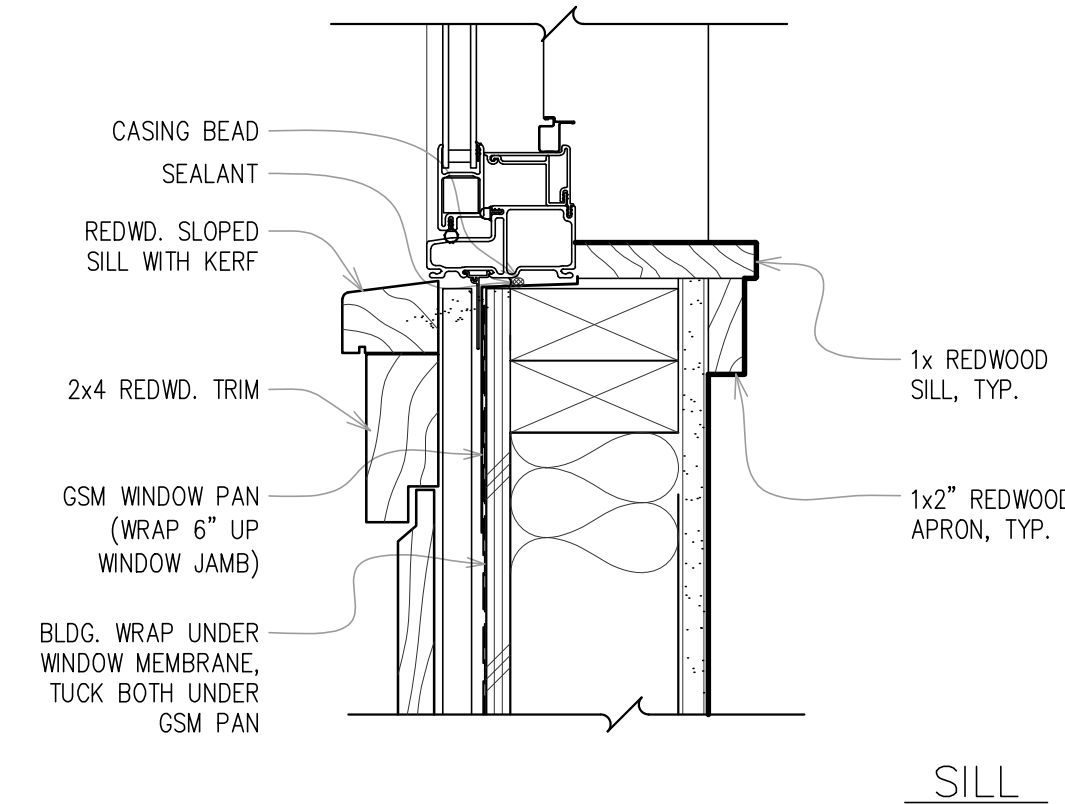


2 PROPOSED ROOF PLAN

A2.1 1/4" = 1'-0"

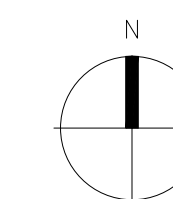


3 TYP. WINDOW HEAD & SILL DETAIL
3'-1'-0" (2x6 SHINGLEWALL)



1 PROPOSED FLOOR PLAN

A2.1 1/4" = 1'-0"



NOTE:
CONTRACTOR AND SUB CONTRACTORS ARE RESPONSIBLE FOR AND MUST COMPLY WITH ALL APPLICABLE MANDATORY MEASURES NOTED ON CALGreen CHECKLIST, SEE SHEET A1.3.

KEY NOTES:

- 1 NEW GAS FIREPLACE; VERTICAL VENT THROUGH ROOF, MIN. 3'-0" FROM PROPERTY LINE
- 2 30 YEAR ASPHALT SHINGLES. SEE 5/A3.1 FOR ROOF ASSEMBLY.
- 3 PAINTED GSM GUTTER AND FLASHING, TYP.
- 4 TIE NEW ELECTRICAL TO EXISTING SOLAR PANEL SYSTEM AT EXISTING HOUSE.

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No. Date Issues and Revisions
4/7/17 PLANNING SUBMITTAL

PROPOSED FLOOR PLAN, ROOF PLAN, DETAILS & SCHEDULES

SCALE: 1/4" = 1'-0"

A2.1

NOTES:
ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.

WALL & SYMBOL LEGEND:

- [Hatched Box] NEW FULL HEIGHT WALL
- [Diagonal Lines] NEW PARTIAL HEIGHT WALL
- [Cross-hatched Box] 1-HOUR RATED FIRE SEPARATION WALL
- [1][4][6][6] ROOM FINISHES, SEE FINISH SCHEDULE
- [2] KEY NOTES
- (A) (1) DOOR AND WINDOW TAGS, SEE DOOR-WINDOW SCHEDULE
- (2) (A3.1) EXTERIOR ELEVATION SYMBOL
- (8) (A3.1) INTERIOR ELEVATION SYMBOL
- [1] WALL TYPE WALL TYPE, SEE WALL DETAILS SHEET A2.1



1046 ORDDWAY ST. 1044 ORDDWAY ST. 1042 ORDDWAY ST.

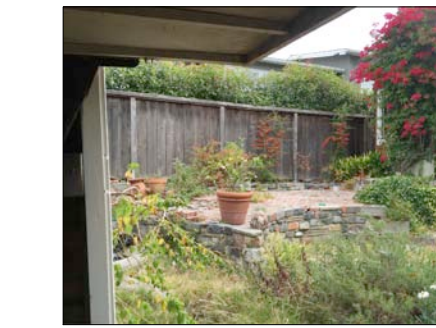
EXISTING ELEVATIONS FROM ORDDWAY ST.



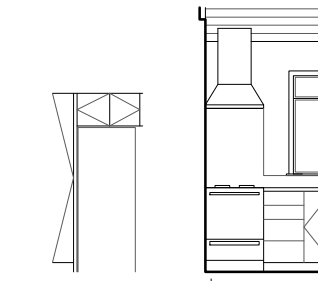
VIEW OF GARDEN AND HOUSE FACING EAST, FROM (E) GARAGE



VIEW OF GARDEN FACING WEST, FROM (E) DRIVEWAY

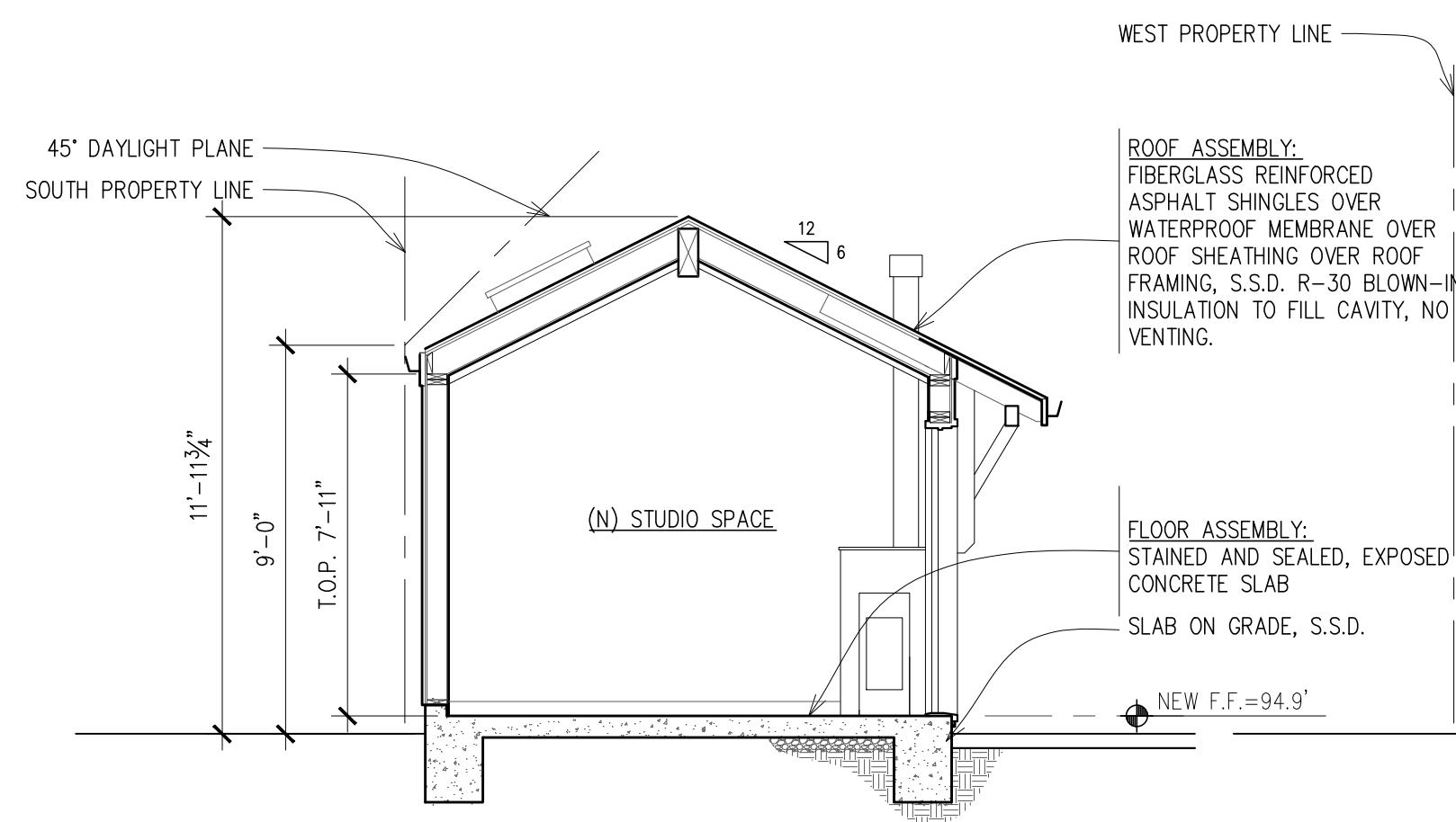


VIEW OF GARDEN FACING NORTHEAST, FROM (E) GARAGE



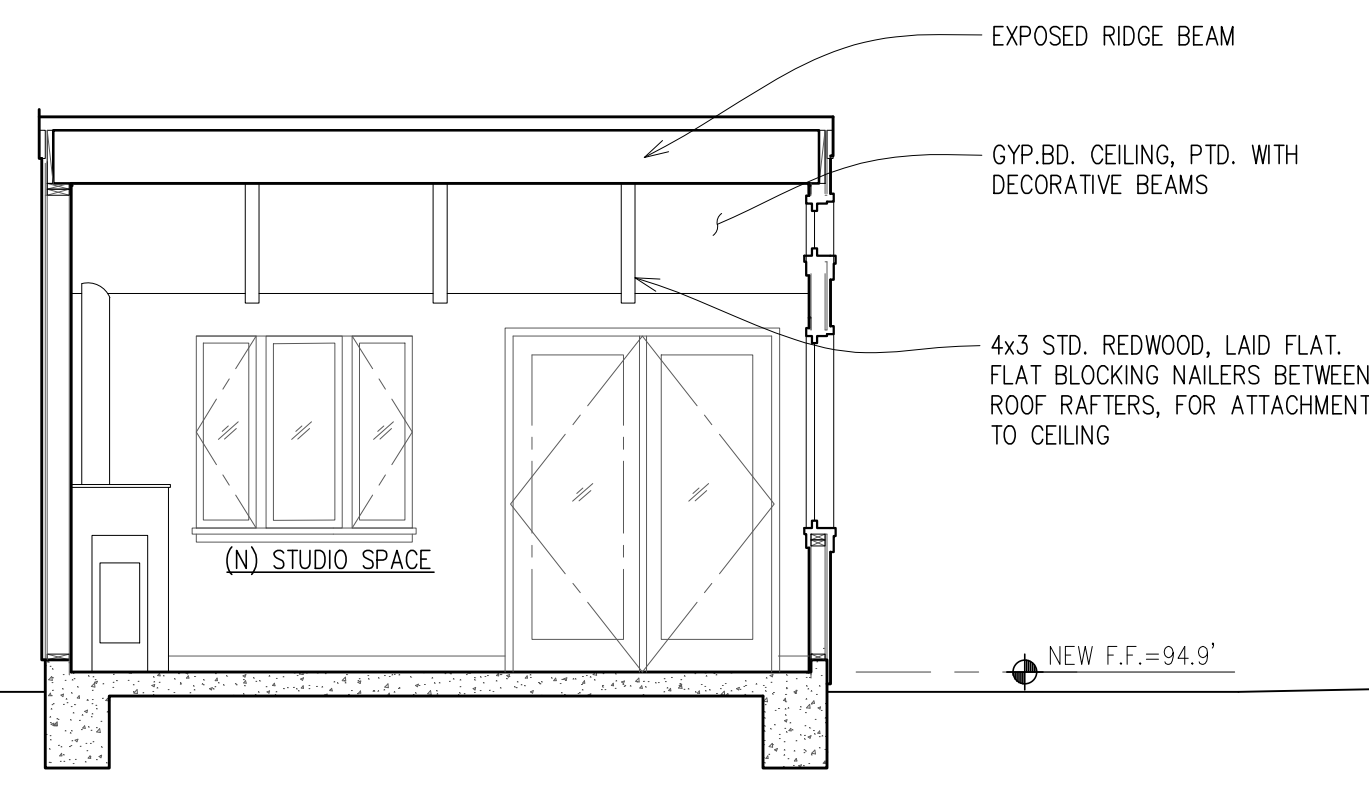
9 PHOTOGRAPHS: EXISTING ELEVATIONS FROM ORDDWAY ST. WITH ABUTTING NEIGHBORS, AND EXISTING REAR YARD

A3.1



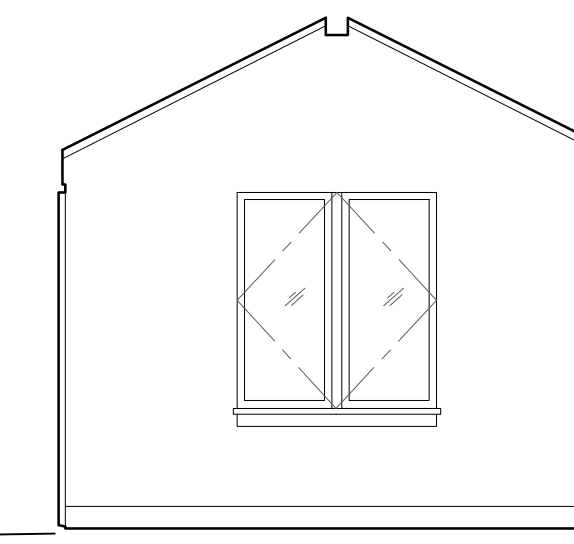
5 BUILDING SECTION

A3.1 1/4"=1'-0"



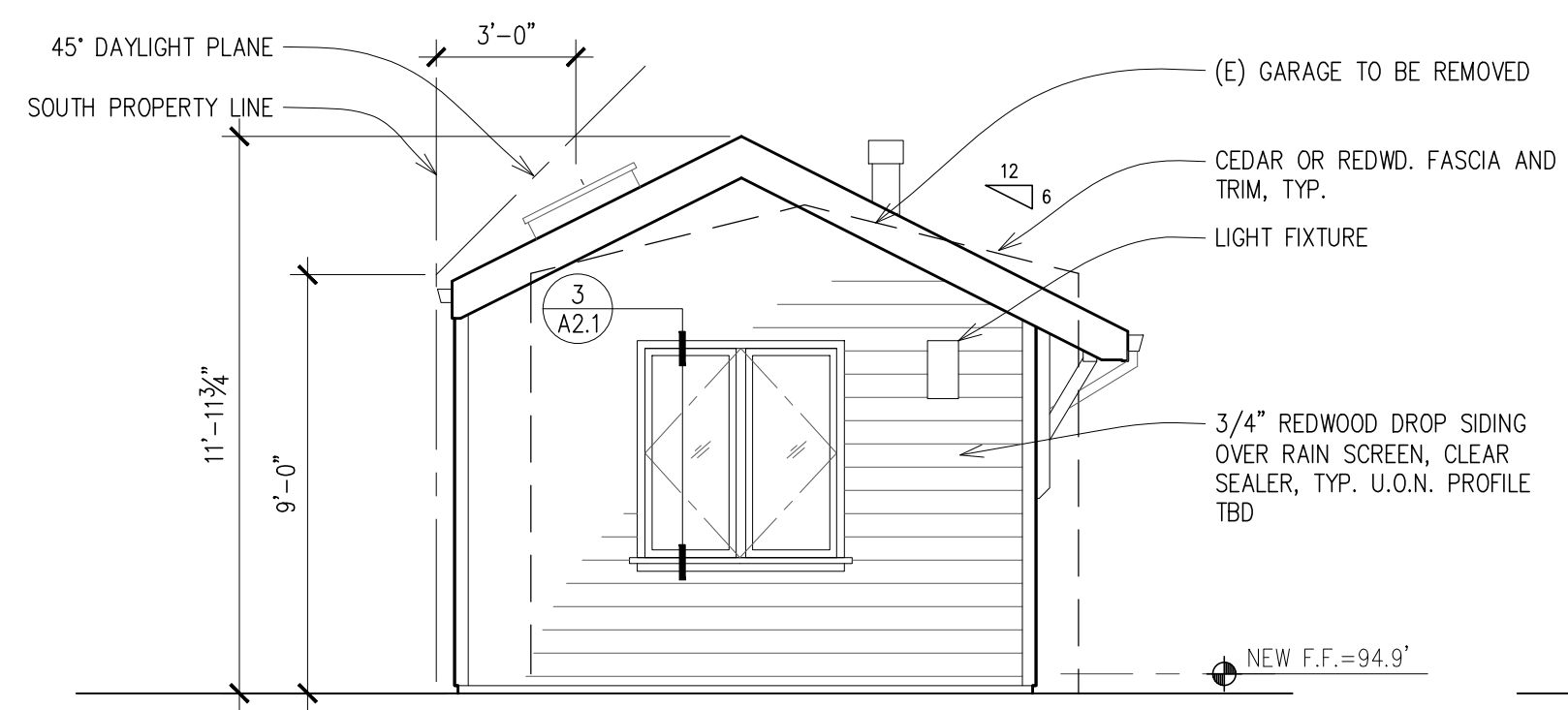
6 BUILDING SECTION

A3.1 1/4"=1'-0"



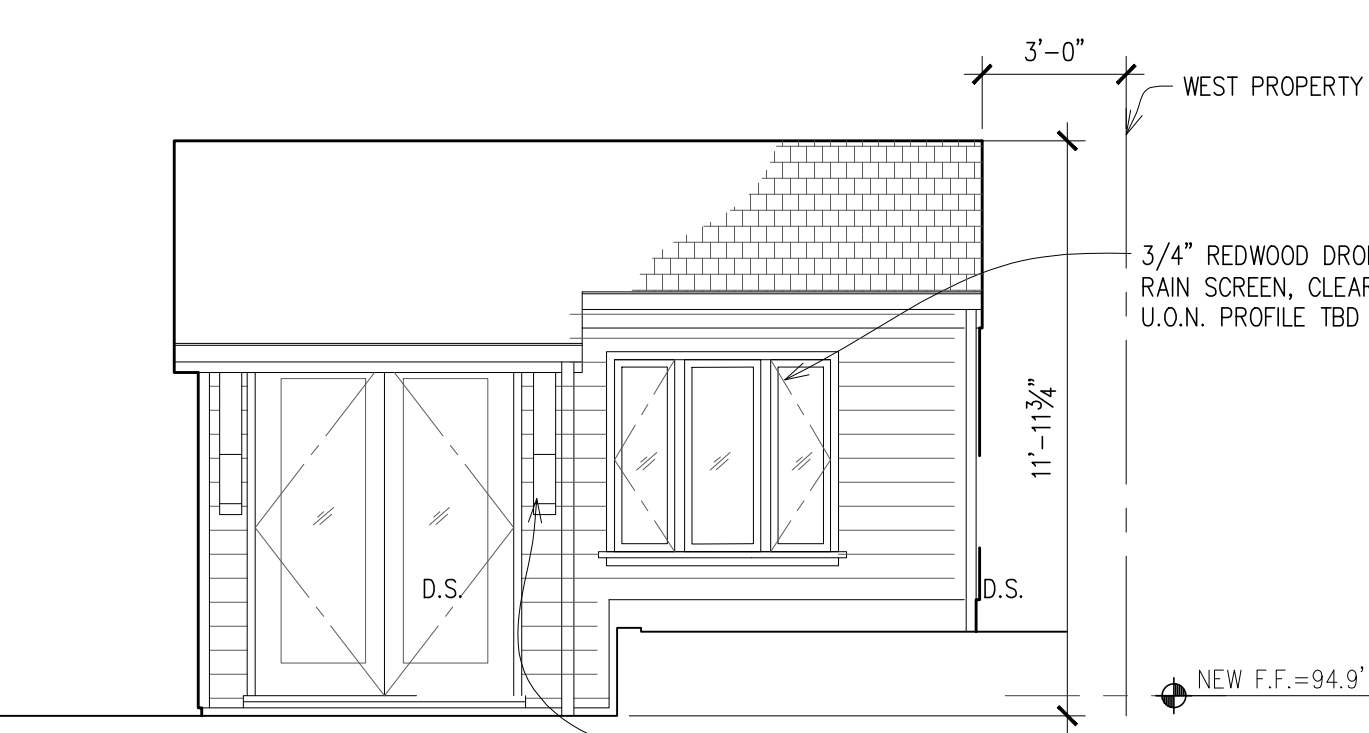
9 LIVING ROOM ELEVATIONS

A3.1 1/4"=1'-0"



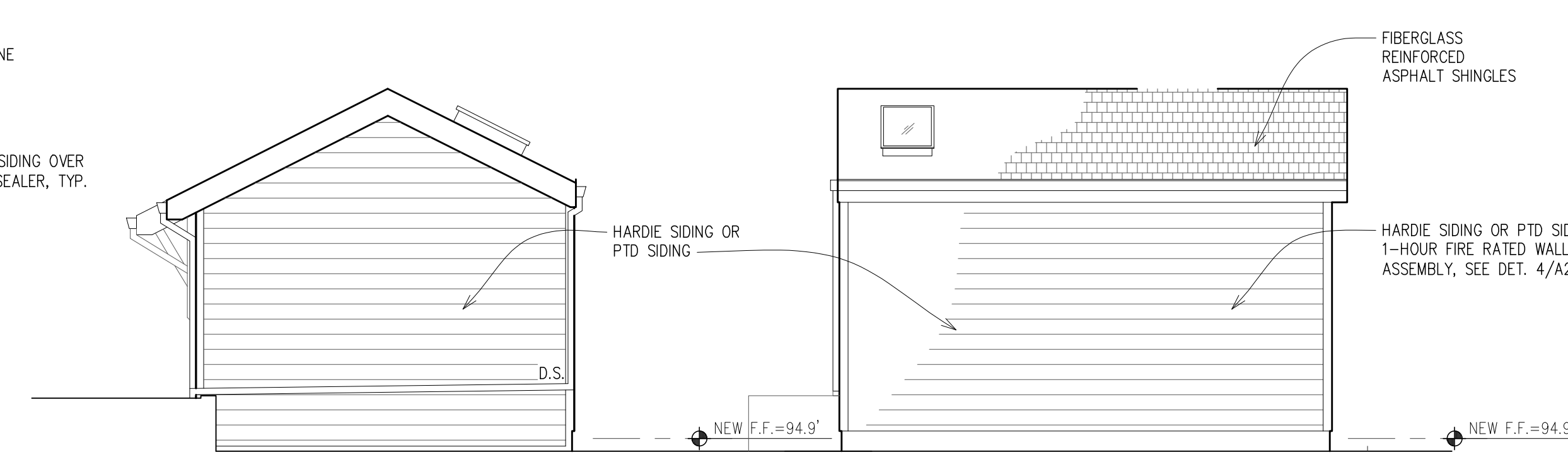
1 PROPOSED EAST EXTERIOR ELEVATION

A3.1 1/4"=1'-0"



2 PROPOSED NORTH EXTERIOR ELEVATION

A3.1 1/4"=1'-0"



3 PROPOSED WEST EXTERIOR ELEVATION

A3.1 1/4"=1'-0"

4 PROPOSED SOUTH EXTERIOR ELEVATION

A3.1 1/4"=1'-0"

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PROPOSED EXTERIOR ELEVATIONS & BUILDING SECTIONS, EXISTING PHOTOGRAPHS

SCALE: 1/4"=1'-0"

A3.1